



## AGENDA

### Zoning Administrator Hearing

February 21, 2025, at 9:00am  
Healdsburg City Hall Conference Room 1  
401 Grove Street, Healdsburg

#### 1. CALL TO ORDER/INTRODUCTIONS

#### 2. PUBLIC HEARING

##### Item 1

Application	VAR-0003-2024
Project Description	Minor Variance application to allow two small arbor/shade structures in the Foss Creek riparian setback area. This area of the creek is channelized and no impacts to the creek are anticipated.
Location	425 and 427 Foss Street
APN	002-173-030 and 002-173-033
Applicant	Jackson Broussard
Environmental Determination	It has been determined that the project is Categorically Exempt pursuant to CEQA Guidelines Section 15305 Class 5 – Minor Modifications in Land Use Limitations.

#### 3. ADJOURNMENT

Scott Duiven, Zoning Administrator

Posting: This agenda was posted on City bulletin boards and the City's website at least 72 hours prior to the meeting, in accordance with state law.

Availability of Written Materials: All written materials (e.g., staff reports, conditions) prepared for items on this agenda are available for public review at least 72 hours prior to the meeting at the Community Development Department at 401 Grove Street and on the City's website at [www.healdsburg.gov](http://www.healdsburg.gov). Written materials submitted after the posting of this agenda, but before the Zoning Administrator meeting, will also be made available for public review in the Community Development Department. If written materials are presented to the Zoning Administrator at the meeting, a copy will be made for public review at the meeting.

Disabled Accommodations: The City of Healdsburg will make reasonable accommodations for persons having special needs due to disabilities. Please contact Amanda Gray, Administrative Technician, at Healdsburg City Hall, 401 Grove Street, Healdsburg, California, 707-431-3393, at least 72 hours prior to the meeting, to ensure the necessary accommodations are made.

Public Comments: Persons speaking on items on this agenda are requested to provide their name, address and the subject of their comments. Comments are generally limited to three minutes, however additional time may be granted by the Zoning Administrator as appropriate, depending on the scope of the project.

Appeals: Anyone that does not agree with the Zoning Administrator's decision may appeal the decision to the Planning Commission, provided that a written appeal is filed within ten (10) calendar days from the date of the Zoning Administrator's action.



**CITY OF HEALDSBURG  
ZONING ADMINISTRATOR  
AGENDA STAFF REPORT**

**MEETING DATE:** February 21, 2025

**SUBJECT:** Consideration of Variance Application VAR-0003-2024 at 425-427 Foss Street, APNs 002-173-030 and 0002-173-033

**PREPARED BY:** Jeff Fisher, Assistant Planner

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**RECOMMENDED ACTION**

It is recommended that the Zoning Administrator approve Variance Application VAR-0003-2024 based on the suggested findings and subject to the recommended conditions of approval identified in Attachment 1 of the staff report.

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**PROJECT DESCRIPTION**

The applicant is requesting approval of a variance to the Foss Creek riparian setback requirement in order to construct two small arbor structures adjacent to the channelized Foss Creek at the Cottages of Healdsburg hotel. The variance would allow for construction of the proposed arbors within the 35' riparian setback. According to the applicant, the structures will provide shade and privacy for guests of the hotel. Due to the newly constructed 2-story hotel units on the west side of the creek, privacy for guests has become an important consideration for the property owners. The small arbors will consist of steel construction with a soft arcing top section. The finish on the steel will be a weathered rust color to compliment the hotel's landscape palette. The maximum height of the structures will be approximately 10 feet and will not be visible from the public realm. Small concrete seating walls will also be built underneath each arbor.

**SITE AND VICINITY DESCRIPTION**

The project site, consisting of two adjacent parcels, is located on the west side of Foss Street approximately 250 feet north of North Street. The site is currently developed with the Cottages of Healdsburg hotel. Adjacent land uses include a hotel to the west, single-family residences to the north, and commercial uses to the south and east. The property is accessed directly from Foss Street.



The existing hotel structures were previously a single-family home converted to lodging in 2000. The structures were built many years prior to the adoption of the City's Riparian Setback Ordinance which includes the 35-foot Foss Creek setback standard. Therefore, most of the existing development on the site is considered to be legal non-conforming due to its location within the 35-foot riparian setback area.

As noted, the site consists of two adjacent parcels. One arbor will be built on each parcel. The area for the proposed construction is currently undeveloped and covered with decomposed granite material and concrete serving as walkways and outdoor open areas between the lodging units and the creek channel. Mature hedges grow along the top of the wall adjacent to the creek. The creek channel along this section of Foss Creek has been channelized with concrete walls on each side. There is no natural riparian vegetation along this section of Foss Creek. The creek bed is approximately 10-feet below the grade of the site on each side. The channelization of the creek continues south beyond the project site and ultimately under North Street where the natural

stream channel again commences. The Duchamp Hotel site occupies the western bank of the creek, across the channel from the project site. Similar to the project site, this area is completely developed with buildings, a swimming pool, and hardscape. There is no natural vegetation or any valuable riparian habitat along either side of the creek in this section.

It should be noted that past development along the Duchamp Hotel side of the creek was approved by the City via multiple variance and design review entitlements dating from 1998 to 2018. The Duchamp was permitted to develop the site with structures and other amenities within the 35-foot riparian setback area. According to the findings approved by the Planning Commission, the development would not have any impacts to the creek. As of the date of this report, there have been no documented creek impacts related to the creekside development.





(Site of arbor #1)



(Site of arbor #2)

### **APPLICABLE GENERAL PLAN INFORMATION**

The project is consistent with the policy of the Natural Resources Element of the General Plan as the proposed structures are located outside of the creek channel in a developed area devoid of any significant riparian or biological habitat.

*NR-B-3      New development shall be sited to maximize the protection of native tree species, riparian vegetation, important concentrations of native plants, and important wildlife habitat.*

## APPLICABLE LAND USE CODE INFORMATION

The requested setback reduction requires a variance application pursuant to Land Use Code Section 20.24.095. Variances to the riparian setback may be granted where it can be demonstrated that there will be no impacts to the creek as a result of proposed development.

## DISCUSSION/ANALYSIS

### FINDINGS

Staff recommends that the variance be approved because all of the following findings required by Section 20.28.230 can be made for the request, as follows:

*1. Special circumstances exist with respect to the property in question, including, but not limited to size, shape, topography or surroundings.*

There are special circumstances existing with the site which warrant a reduction in the required setbacks. This section of Foss Creek has been channelized with concrete walls on each side. There is no natural riparian vegetation along this section of creek. The creek bed is approximately 10-feet below the grade of the site on each side. The proposed structures will be built outside of the channel of the creek and in areas of the site with existing development and will not result in any impacts to the creek. The open-roofed structures will not create any significant hardscape resulting in increased runoff into the creek.

*2. Strict or literal interpretation and enforcement of the specified regulation would result in a practical difficulty or unnecessary hardship inconsistent with the objectives of the Zoning Ordinance.*

Strict or literal interpretation and enforcement of the 35-foot riparian setback standard would result in unnecessary hardship in that it would deprive the property owner from developing the site consistent with the zoning standards of the CD zoning district. The CD zone allows structures to be built with zero setback lines in normal circumstances. Due to the fact that there will be no impacts to the creek, staff finds that locating two small arbor structures within the required riparian setback will have no negative effects on the creek or the neighboring properties.

*3. Strict or literal interpretation and enforcement of the specified regulation would deprive the applicant of privileges enjoyed by the owners of other properties classified in the same zoning district.*

Strict or literal interpretation and enforcement of the 35-foot setback standard would deprive the owners of privileges enjoyed by other properties in the same zoning district. There are multiple properties along this section of Foss Creek which are completely developed and include development within the riparian setback area. Most of the development was reviewed and approved via the City's entitlement processes and found to not have any significant

negative impacts on Foss Creek. The project site is currently developed and staff finds that the proposed small structures will not result in any impacts to the creek or surrounding properties.

*4. The granting of the variance will not constitute a grant of special privilege inconsistent with the limitations of other properties classified in the same zoning district.*

Granting the variance would not constitute a grant of special privilege inconsistent with the limitations of other properties classified in the CD zoning district. The request is to allow the addition of two small open-roofed structures, significantly smaller than those improvements made on adjacent properties along this section of Foss Creek. The variance would enable the owners to offer an amenity to their guests which will only enhance their experience at the hotel by providing shade and privacy from adjacent two-story development.

### **ENVIRONMENTAL REVIEW**

The project is categorically exempt pursuant to California Environmental Quality Act Guidelines Section 15305 Class 5 Minor Alterations in Land Use Limitation due to the fact that the project includes a minor riparian setback variance in an area with an average slope of less than 20%, which does not result in any changes to land use or density. There will be no impact to Foss Creek due to the current developed condition of the project site, the channelized condition of the creek itself, and a lack biological habitat in the project area.

### **DEPARTMENT COMMENTS**

The application was routed to the City's Building, Fire, Electric and Public Works Departments. Conditions of approval from each responding department are included as Attachment 1.

### **PUBLIC COMMENTS**

As of the date of this report, staff did not receive any public comment on this application.

### **ATTACHMENTS**

1. Conditions of Approval
2. Applicant's Project Statement
3. Plan Set

**Conditions of Approval**

VAR-0003-2024

425-427 Foss Street

February 21, 2025

**Community Development Department**

1. Future development of the parcel shall be in substantial compliance with Exhibit A – Plan Set, dated December 9, 2024.
2. Prior to development on the subject parcel, the applicant shall submit an application for building permits for review and approval by the City of Healdsburg Planning & Building, Electric, Public Works, and Fire Departments.
3. The variance allowing encroachment within the 35’ riparian setback is limited to the proposed construction of the two arbors as depicted on the plan set. The variance does not allow for further expansion of existing nonconforming structures located within the riparian setback.
4. The Variance approval shall lapse and shall become void one year following the date on which it became effective, unless before the expiration of one year:
  - A building permit is issued and maintained as active for the project, or,
  - A time extension has been applied for and approved by the Planning & Building Department.

**Public Works Department**

1. There are two existing public utility easements on the site. One easement is a 7-foot-wide public storm drain easement that runs from Foss Street to Foss Creek, through the middle of 427 Unit A and 427 Unit B. The second easement is a 10-foot-wide public utility easement for public sewer purposes running along the rear of the property.
  - a. No structures or overhangs are allowed with the existing public storm drain easement.
  - b. Prior to building permit approval, the applicant shall submit an application for the abandonment of the existing public sewer easement. The easement shall be abandoned and all fees for staff time spent on the abandonment shall be paid by the applicant prior to final inspection.

### PROJECT NARRATIVE

Thomas A. Lenny, General Contractor ("Applicant") is proposing a landscape project consisting of a 8' x 32' and a 8' x 8' steel arbor along an existing guest thoroughfare at the Cottages at Healdsburg, located at 425 & 427 Foss Street in the City of Healdsburg, County of Sonoma, California.

The Project site in Healdsburg, California is comprised of approximately 0.2313 acres or 10,077 square feet between two APN's. The first APN: 002-173-030 for 425 Foss Street, Healdsburg contains an ingress.egress easement, guest and staff parking lot and one structure, approximately 644 square feet. The second APN: 002-173-033 for 427 Foss Street, Healdsburg contains two additional structures, approximately 1,600 square feet and a pool. Land use for the Project site is Downtown Commercial.

Currently, the Main Entrance from the guest parking along the western portion of the property, leads directly into the formal pathway to each guest Cottage. This pathway runs parallel to Foss Creek, where an existing concrete wall, and smaller 4-6" diameter trees exist. According to the Title 20 Land Use Code, 20.24.090 Riparian Setback Standards, no building, structure or permanent or temporary improvement, including but not limited to buildings of any type, garages, swimming pools or spas, parking lots (paved or unpaved), patios, platforms, decks, platforms, liquid storage tanks, trash enclosures, mobile homes, retaining walls, debris, fill or trash shall be allowed within 35 feet of Foss Creek.

Currenty, there exists a retaining wall between the top of the bank and the edge of the Project site, and the current and established pathway is within the 35 foot Foss Creek

The proposed Project is requesting a Variance in order to construct an arbor, landscaped with gravel and native planting, over the existing pathway, in order to provide privacy and noise barrier from the newly constructed Duchamp Hotel and Foley Pavillion. The proposed project would not further encroach nor disturb the creek setback beyond the existing pathway.

The Applicant is requesting a CEQA Categorical Exemption 15301: Class 1 consisting of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of existing or former use.

The arbor consist of steel construction with a soft arcing top section. The finish on the steel will a weathered rust to fit in with the landscape palette.

The Arbor would expand 32 feet from a 5' setback on APN: 002-173-030, as seen on the Plan Set Sheet \_\_\_to the respective 5 foot side setback as established by the Downtown Commercial Zoning Ordinance. It would begin at the respective 5 foot side setback on APN: 002-173-033 and extend 32 feet as seen on Plan Set Sheet \_\_\_.

## JUSTIFICATIONS AND FINDINGS FOR VARIANCE

A) Currently all the surrounding properties that abut the Foss Creek channel have existing structures that are outside the 35' riparian setback. Both along the Foss street side to the east of the creek and on the west side.

The subject properties at 425 & 427 Foss St., Cottage Saint cottages have setbacks of 26' for unit closest to the parking entry on the south side while the other 2 cottages have 17' setbacks from the concrete channel. All 3 cottages have setbacks equal to or greater than the surrounding properties. The proposed arbor would not visually compromise any of their views or privacy considering the transparency of the arbor and flat site. All of the proposed arbor will be adjacent to the concrete channel wall with a 2' distance from the channel wall.

We were not able to access some of the adjacent properties to the north to measure their distances from the creek. However, views from across the creek and aerial photos reveal structures close to, if not abutting, the concrete channel. Please refer to last photo.

B) The construction of six new 2 story hotel units across the creek within the 35' setback and a 28' height (approx.), there is a considerable loss of privacy that was previously enjoyed by Saint cottages. The previous structures across the creek were single story with mature landscape to visually separate the properties. Placing an arbor between the cottages and the creek will create a semi-transparent privacy screen from the second story hotel units across Foss Creek. Not allowing the arbor would compromise both properties essential privacy key to guest comfort.

C) Looking south, Little Saint restaurant sits back 8' of the concrete channel with no set back for the cantilevered deck. 411 Foss has an office building and hardscape outside the setback between 10'-12' from channel wall. Referencing north of the cottages, all of the adjacent properties already have existing structures and/or hard scape outside the 35' riparian setback (refer to aerial photo). Across the creek, the new hotel buildings are set back 13' from the concrete channel wall.

D) Since all the adjacent properties have existing structures outside the set back, the arbor would not adversely affect privileges of the adjacent properties. The semi-transparent nature of the arbor would not block out sight lines along the creek and would benefit both side of the creek in the practical sense for privacy.

# LITTLE SAINT COTTAGES

425 FOSS ST  
HEALDSBERG, CA 95448

Attachment 3

## VARIANCE SET

### SHEET INDEX

L0.00	COVER AND INDEX	p1
L0.01	SITE CONTEXT MAPS	p2
L0.02	OFFICIAL LAND SURVEY	p3
L0.03	SITE PLAN - VARIANCES	p4
L1.00	PROJECT SITE PLAN	p5
L2.00	SITE VIEWS PLAN	p6
L2.01	SITE VIEWS KEY	p7
L3.00	ARBORS VISUALIZATION	p8
L3.01	DETAILS - ARBOR 1	p9
L3.02	DETAILS - ARBOR 2	p10

LITTLE SAINT COTTAGES  
425 FOSS ST.  
HEALDSBURG, CA 95448

VARIANCE SET

DATE:  
11.25.2024

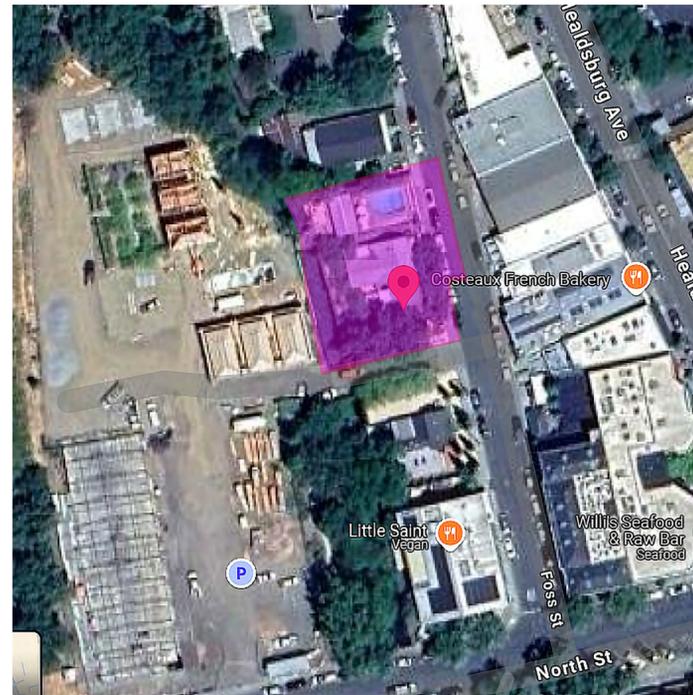
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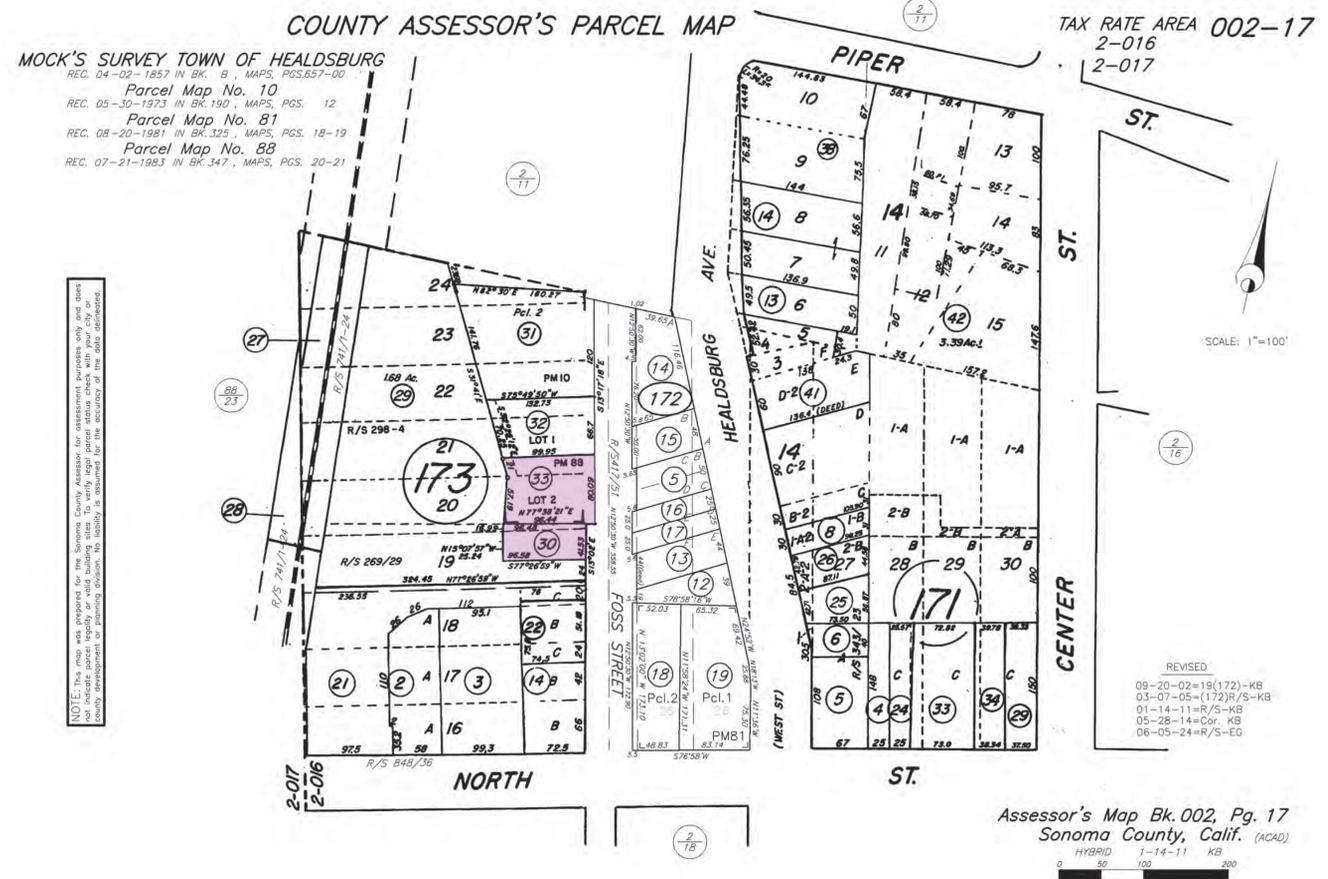
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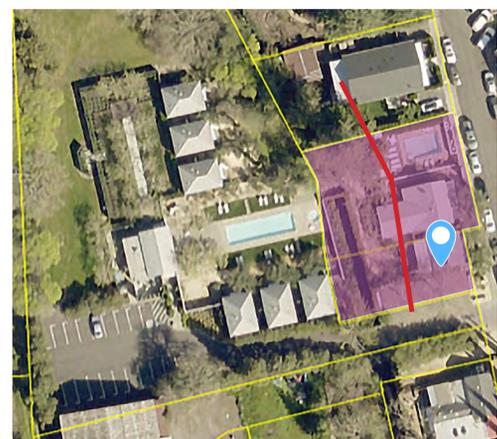
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1 OVERALL AERIAL VIEW



3 OVERALL PARCELS MAP

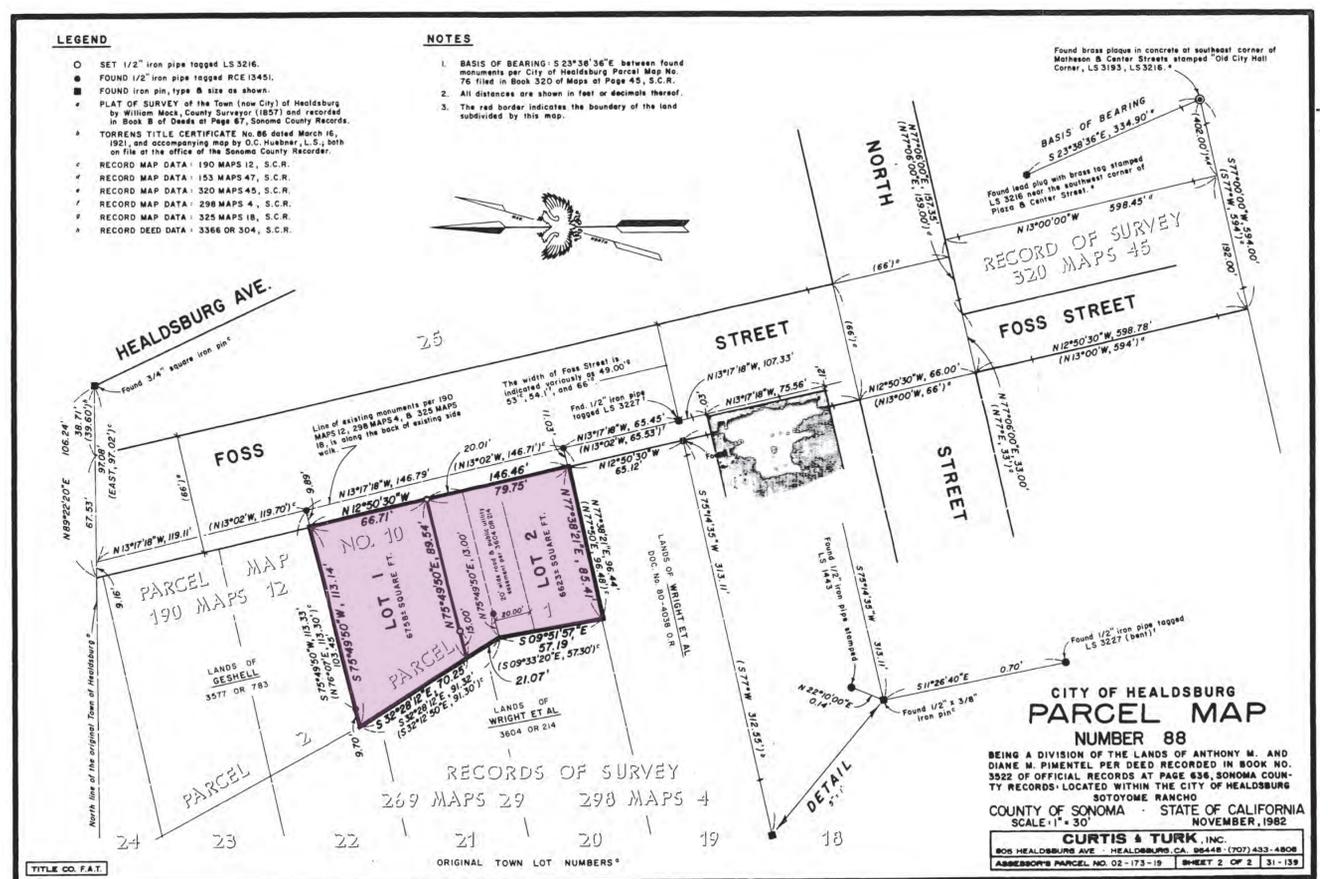


2 SITE-ADJACENT PROPERTIES

PROPERTY LINE  
RIPARIAN LINE



PROJECT PROPERTY



4 SITE - PARCELS MAP

VARIANCE SET

DATE:  
11.25.2024  
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ISSUANCES:  
04.23.2024 SD  
08.16.2024 80%CD  
08.29.2024 90%CD  
10.18.2024 VARIANCE  
11.25.2024 VARIANCE

SHEET TITLE:  
SITE CONTEXT MAPS

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L0.01

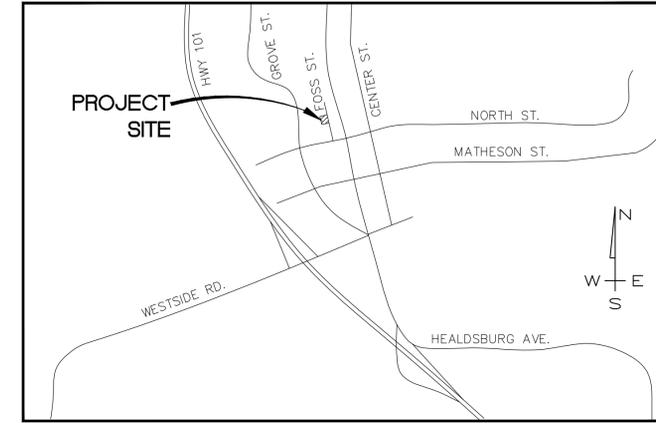
**GENERAL NOTES**

BOUNDARY LINES SHOWN HEREON ARE DELINEATED FROM FIELD TIES AND RECORD DATA ONLY, AND DOES NOT CONSTITUTE A BOUNDARY SURVEY. THIS MAP IS NOT INTENDED TO PROVIDE A BOUNDARY RESOLUTION FOR THE SUBJECT PROPERTY.

UTILITIES SHOWN HEREON ARE BASED UPON PHYSICAL FEATURES OBSERVED AT THE TIME OF THE SURVEY. LOCATION OF UNDERGROUND UTILITIES SHALL BE PERFORMED BY A SUBSURFACE UTILITY LOCATING COMPANY (IF DESIRED).

BASIS OF BEARINGS: N4°26'22"W BETWEEN A FOUND 1/2" IRON PIPE, TAGGED LS 3216, AND A FOUND 1/2" IRON PIPE, TAGGED RCE 13451, AS SHOWN ON THE RECORD OF SURVEY RECORDED IN BOOK 347 OF MAPS, AT PAGE 21, SONOMA COUNTY RECORDS.

ELEVATIONS SHOWN HEREON ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). BENCHMARK CONTROL POINT #100 SET PK NAIL AND WASHER CONTROL POINT. ELEVATION = 101.72' NAVD 88

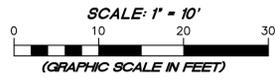
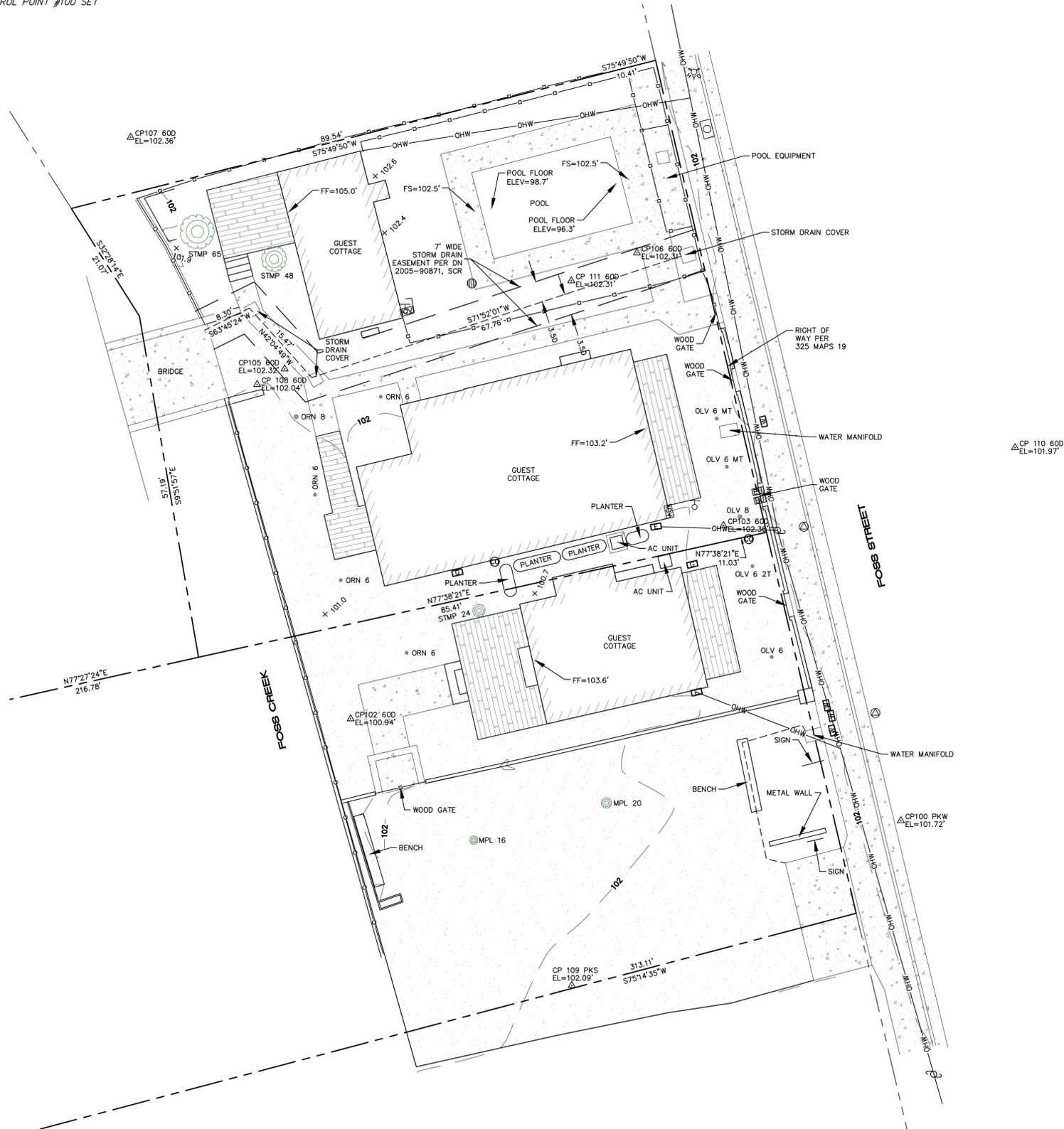


**LOCATION MAP**

NO SCALE

**LEGEND**

- RECORD BOUNDARY LINE
- - - RECORD ADJOINING BOUNDARY LINE
- - - EASEMENT CENTERLINE
- - - EASEMENT EDGE
- EDGE OF CONCRETE
- WOOD FENCE
- x - x - WIRE FENCE
- o - o - CHAINLINK FENCE
- OHW - OVERHEAD WIRE
- ▨ GRVEL SURFACE
- ▩ CONCRETE SURFACE
- ▬ DECKING
- ⊗ FIRE HYDRANT
- ⊕ WATER VALVE
- ⊕ POWER/JOINT POLE
- ⊕ WATER METER
- ⊕ ELECTRIC METER
- ⊕ ELECTRIC PULL BOX
- ⊕ GAS METER
- ⊕ AD SEWER CLEAN OUT
- ⊕ AREA DRAIN
- ⊕ CATCH BASIN
- ⊕ CP 3 CONTROL POINT
- ⊕ SPOT ELEVATION
- x TW 150.5 TOP OF WALL ELEVATION
- ⊕ BO 24" TREE-TYPE & DIAMETER
- RW REDWOOD TREE
- CDR CEDAR TREE
- MPL MAPLE TREE
- OLV OLIVE TREE
- ORN ORNAMENTAL TREE
- STMP TREE STUMP
- INV INVERT
- FF FINISH FLOOR
- FS FINISH SLAB
- AD AREA DRAIN
- SS SANITARY SEWER
- CO CLEAN OUT
- TW TOP OF WALL



REVISION	DESCRIPTION	BY	DATE

**MUNSELLE CIVIL ENGINEERING**  
 CIVIL ENGINEERING • LAND SURVEYING  
 513 CENTER STREET  
 HEALDSBURG, CA 95448  
 (707) 395-0968



DATE: 2/20/24  
 STEVEN J. KLEIN  
 PLS 8155

**FOSS STREET TOPO TOPOGRAPHIC MAP**  
 APN 002-173-090 + 002-173-093  
 425 + 427 FOSS STREET  
 HEALDSBURG, CA

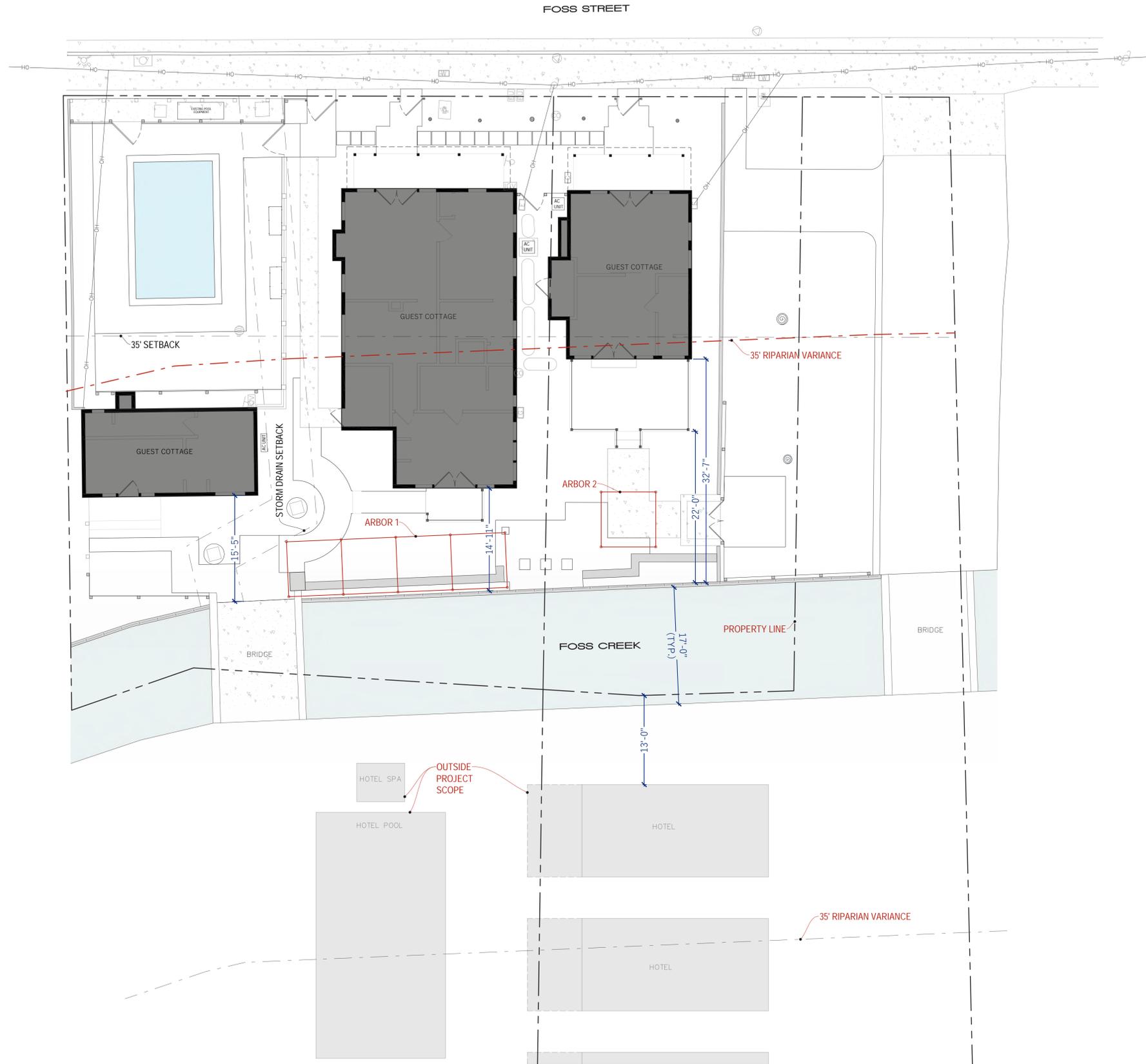
FEBRUARY 2024

JOB NO. 36-24

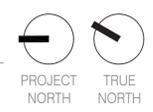
SHEET NO.

**1**

OF 1 SHEET



**1** SITE PLAN - VARIANCES  
SCALE: 1/8"=1'-0"



**LITTLE SAINT COTTAGES**

425 FOSS ST.  
HEALDSBURG, CA 95448

VARIANCE SET

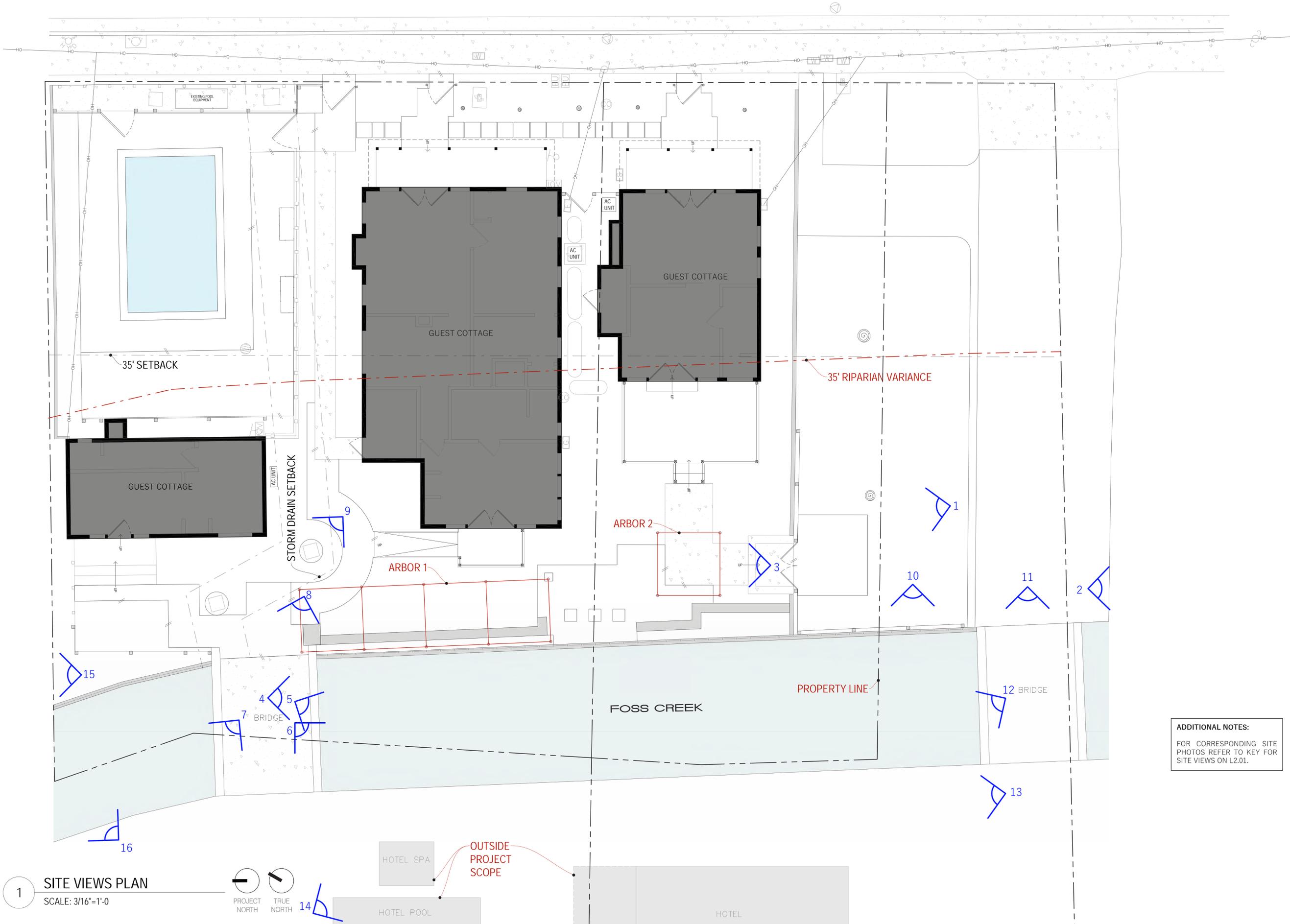
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08.16.2024 80%CD  
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10.18.2024 VARIANCE  
11.25.2024 VARIANCE

SHEET TITLE:  
SITE PLAN -  
VARIANCES

DRAWING NO.:  
**L0.03**





**ADDITIONAL NOTES:**  
FOR CORRESPONDING SITE  
PHOTOS REFER TO KEY FOR  
SITE VIEWS ON L2.01.

VARIANCE SET

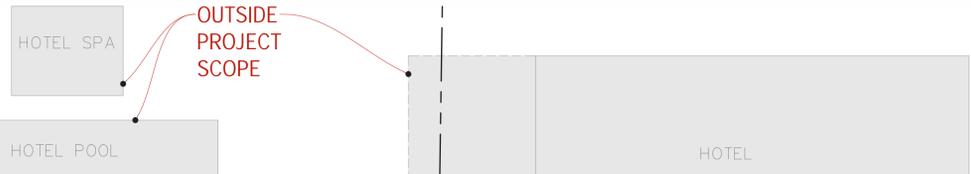
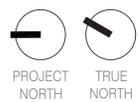
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08.16.2024 80%CD  
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10.18.2024 VARIANCE  
11.25.2024 VARIANCE

SHEET TITLE:  
PLAN - SITE VIEWS

DRAWING NO.:  
**L2.00**

1 SITE VIEWS PLAN  
SCALE: 3/16"=1'-0"



**LITTLE SAINT COTTAGES**  
425 FOSS ST.  
HEALDSBURG, CA 95448

VARIANCE SET

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08.29.2024 90%CD  
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11.25.2024 VARIANCE

SHEET TITLE:  
SITE VIEWS KEY

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**L2.01**



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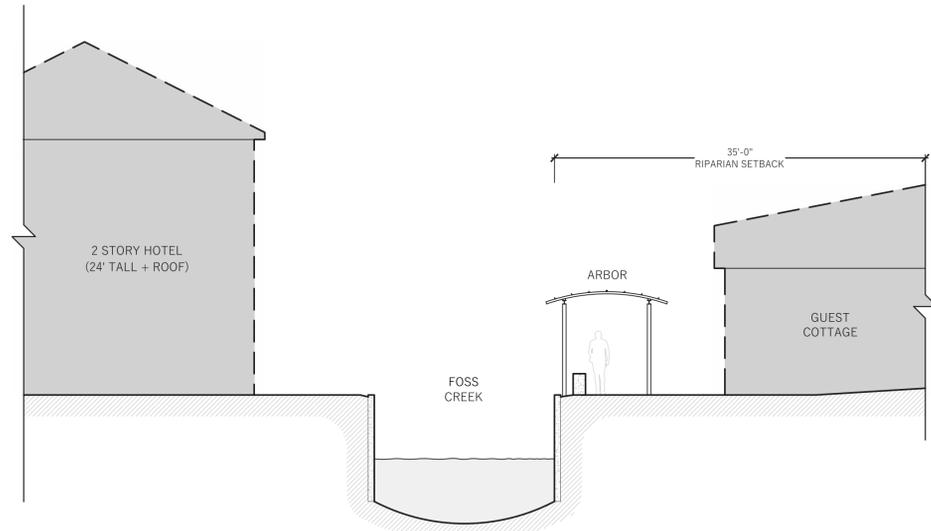
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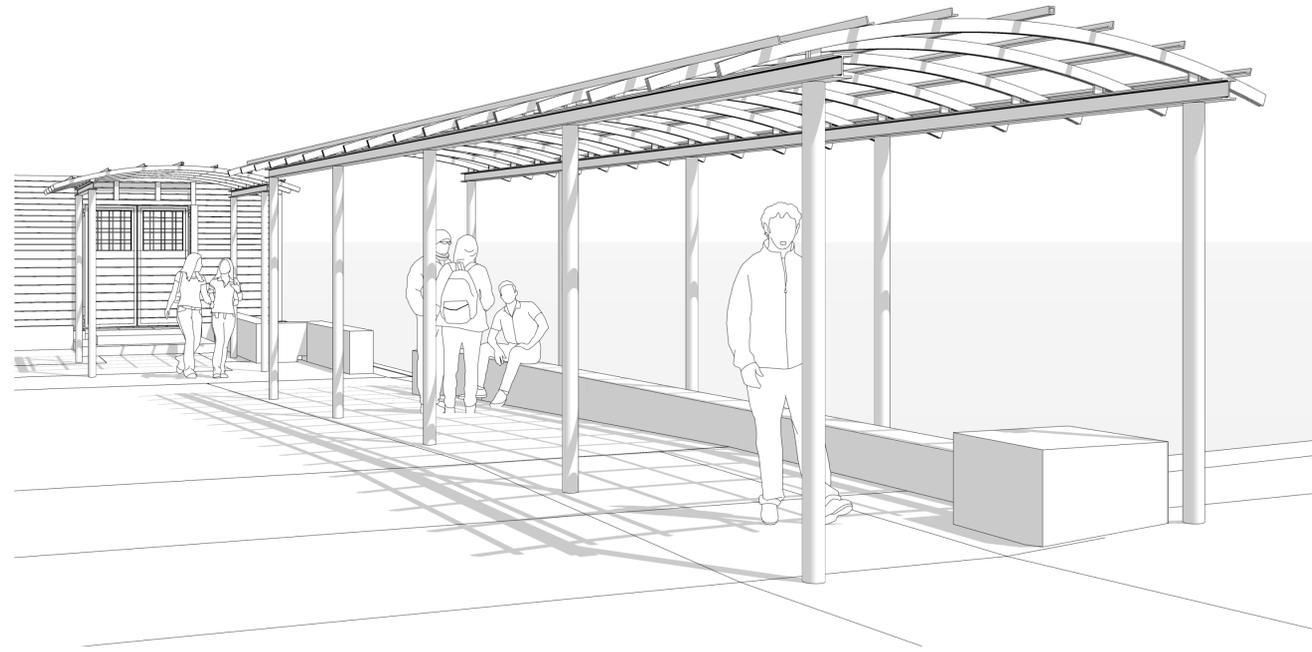
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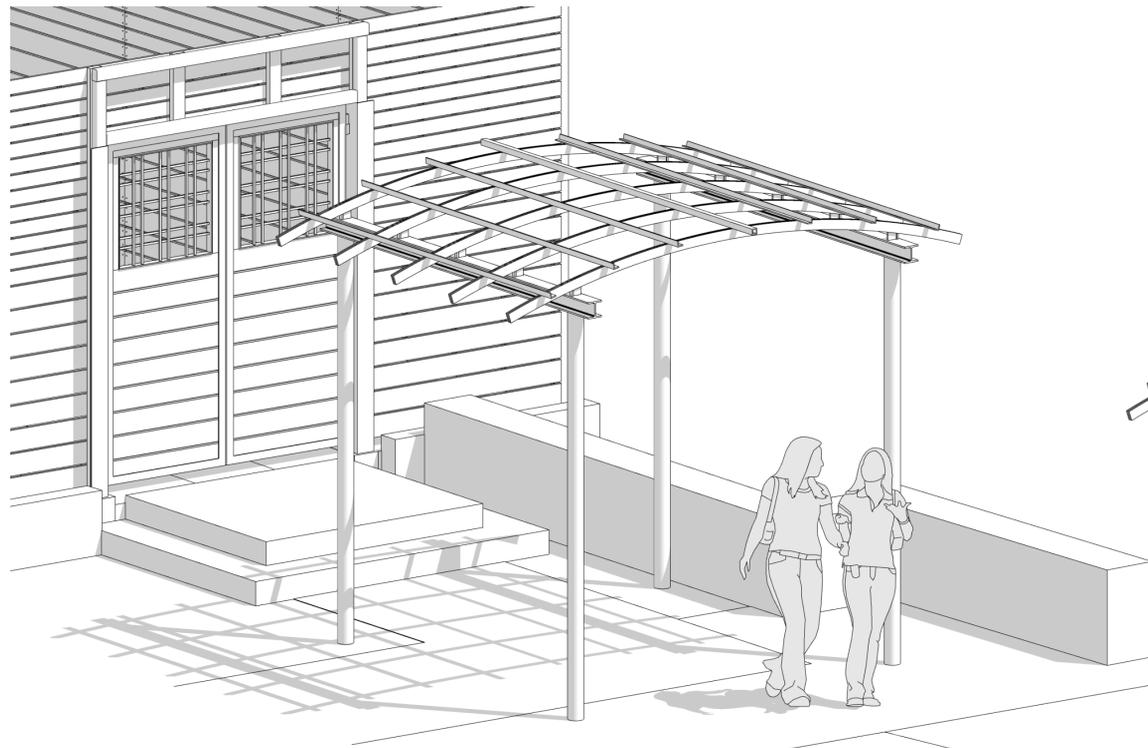
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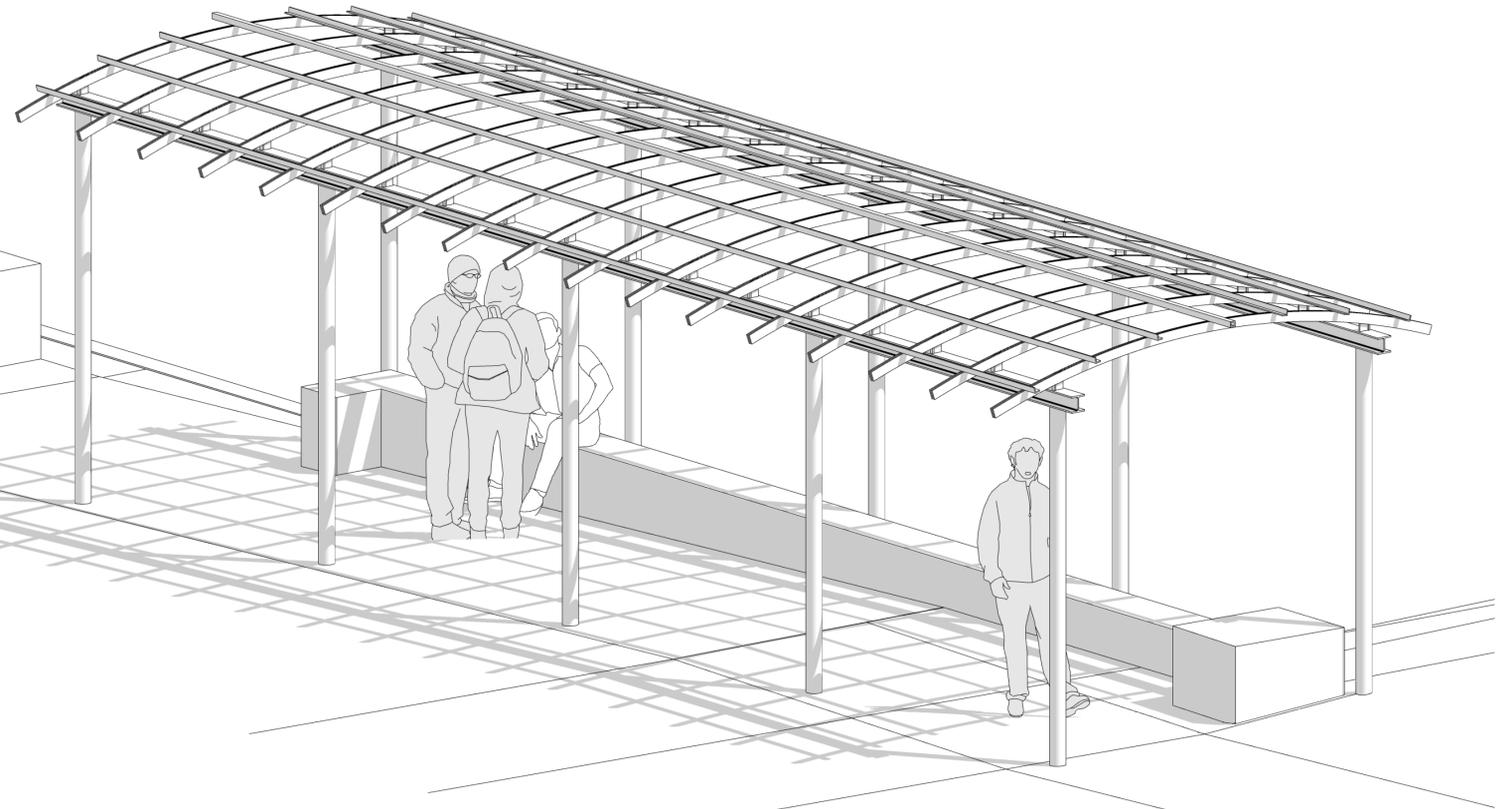
**1 SITE CONCEPT SECTION - NORTH**  
SCALE: 1/8" = 1'-0"



**2 ARBOR 1 & ARBOR 2 - PERSPECTIVE VIEW FROM COTTAGES**



**3 ARBOR 1 & ARBOR 2 - AXON VIEW FROM COTTAGES**



VARIANCE SET

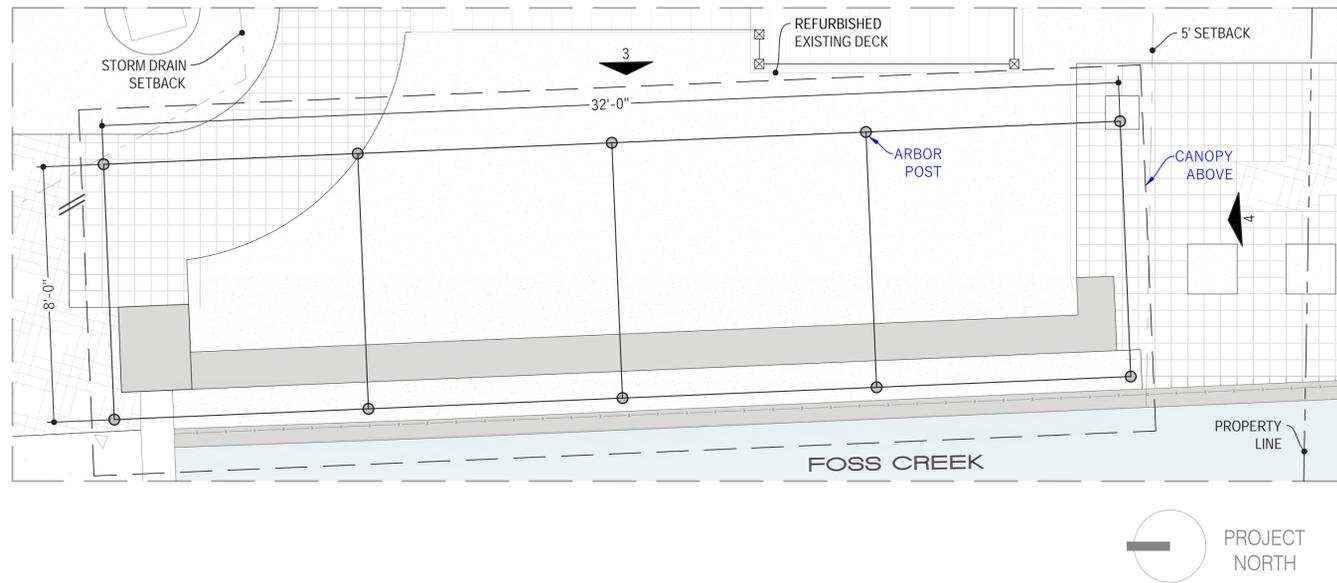
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08.29.2024 90%CD  
10.18.2024 VARIANCE  
11.25.2024 VARIANCE

SHEET TITLE:  
ARBOR  
VISUALIZATION

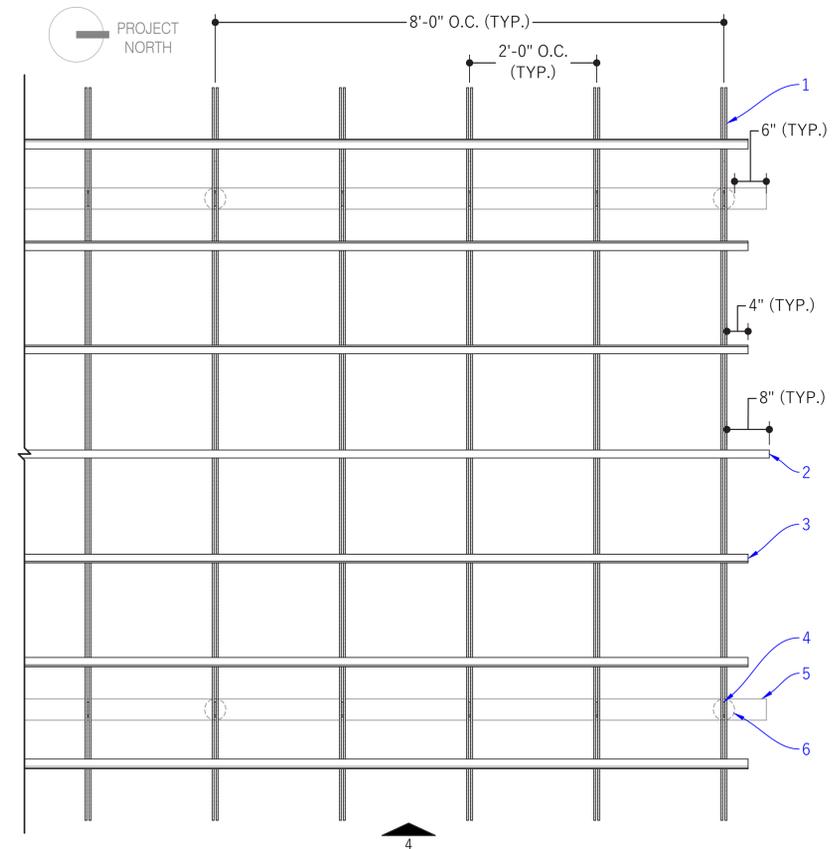
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**L3.00**



1 ARBOR 1 - ENLARGED PLAN  
SCALE: 3/8" = 1'-0"

- NOTES:
- ALL STL, UNLESS NOTED, HAVE WELD CONNECTIONS.
  - WELDS ARE TO BE CONTINUOUS AND GROUND FLUSH.

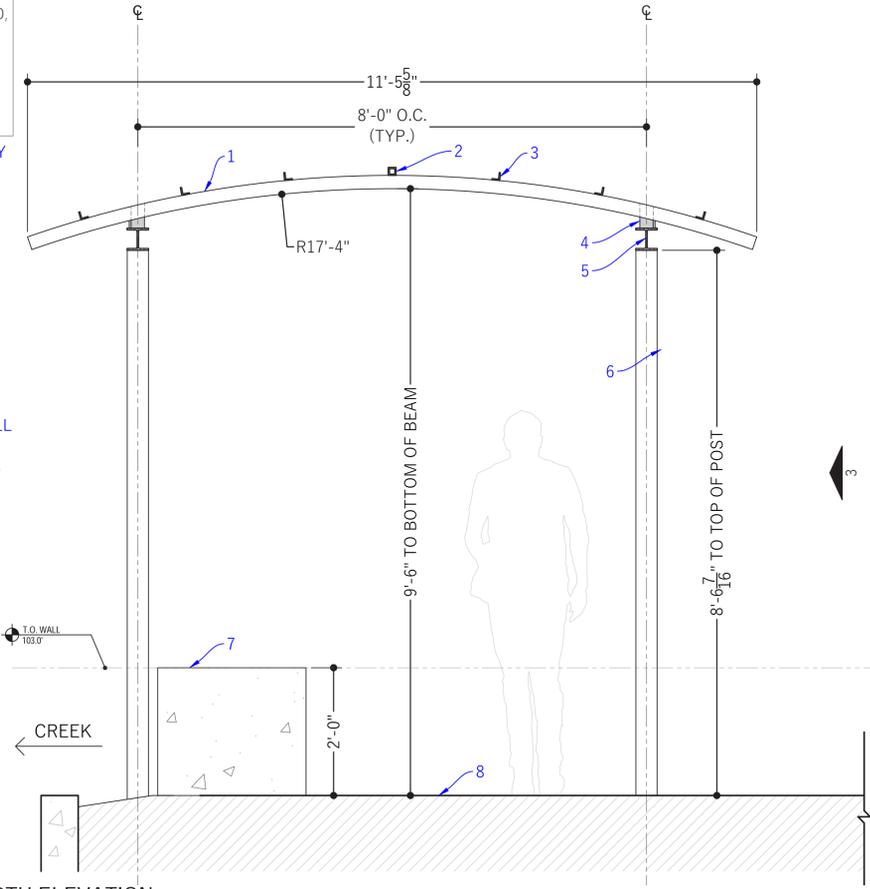
- STEEL RIB ASSEMBLY
- 1 1/2" x 1 1/2" x 1/4" STL. SQ. TUBE
- 1 1/2" x 1 1/2" x 1/4" STL. ANGLE
- 3/8" THICK STEEL BLOCKING
- W4x13 STEEL BEAM
- STEEL POST (SCH 40 PIPE w/ 4" O.D.) EMBEDDED IN TYP. CONC. FOOTING.



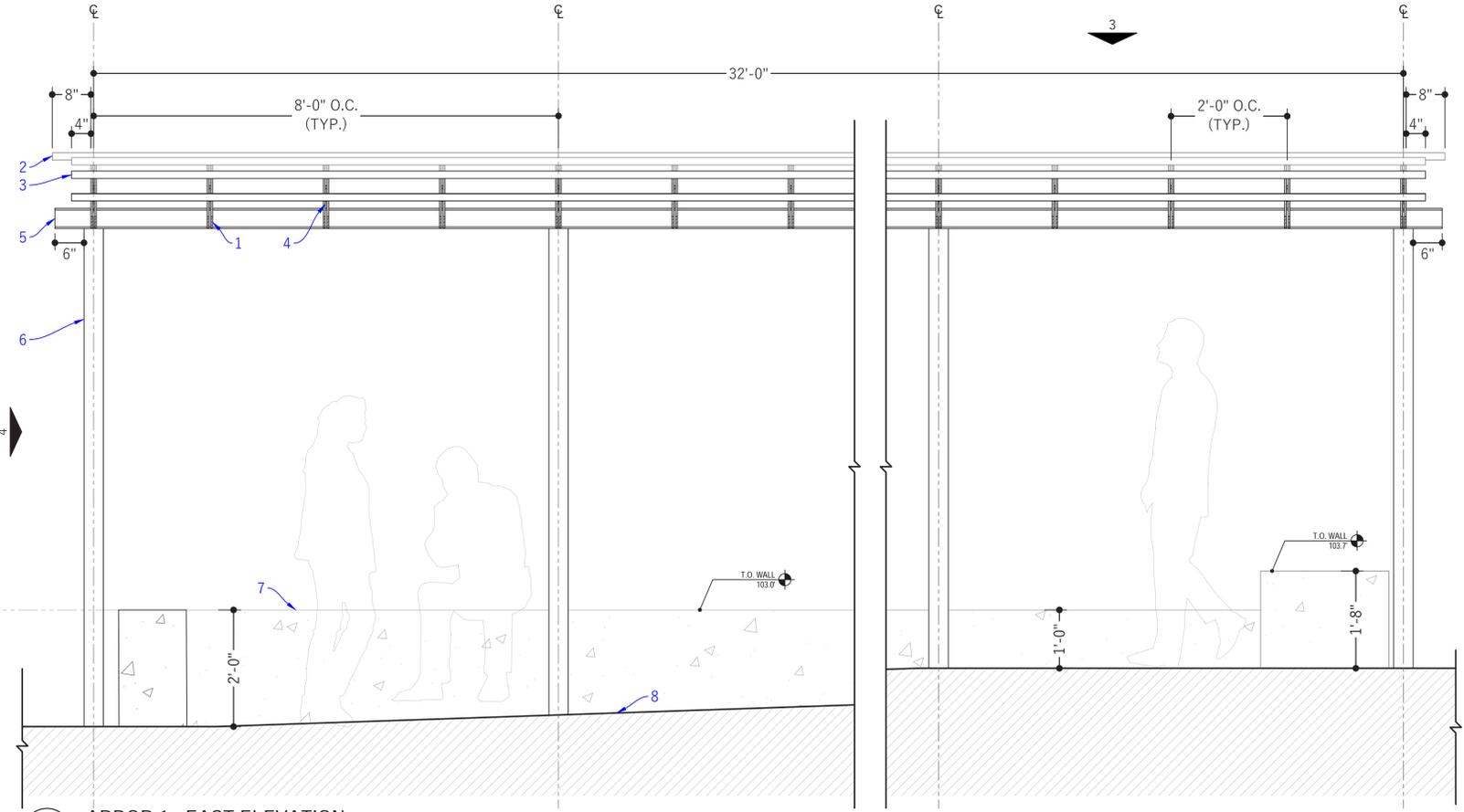
2 ARBOR 1 - ENLARGED PLAN DETAIL  
SCALE: 3/4" = 1'-0"

- NOTES:
- ALL STL, UNLESS NOTED, IS CONNECTED WITH WELDS.
  - WELDS ARE TO BE CONTINUOUS AND GROUND FLUSH.

- STEEL RIB ASSEMBLY
- 1 1/2" x 1 1/2" x 1/4" STL. SQ. TUBE
- 1 1/2" x 1 1/2" x 1/4" STL. ANGLE
- 3/8" THICK STEEL BLOCKING
- W4x13 STEEL BEAM
- STEEL POST (SCH 40 PIPE w/ 4" O.D.) EMBEDDED IN TYP. CONC. FOOTING.
- 14" WIDE CONCRETE SEAT WALL. T.O. WALL IS LEVEL. HEIGHT VARIES WITH GRADE.
- GRADE



4 ARBOR 1 - NORTH ELEVATION  
SCALE: 3/4" = 1'-0"



3 ARBOR 1 - EAST ELEVATION  
SCALE: 3/4" = 1'-0"

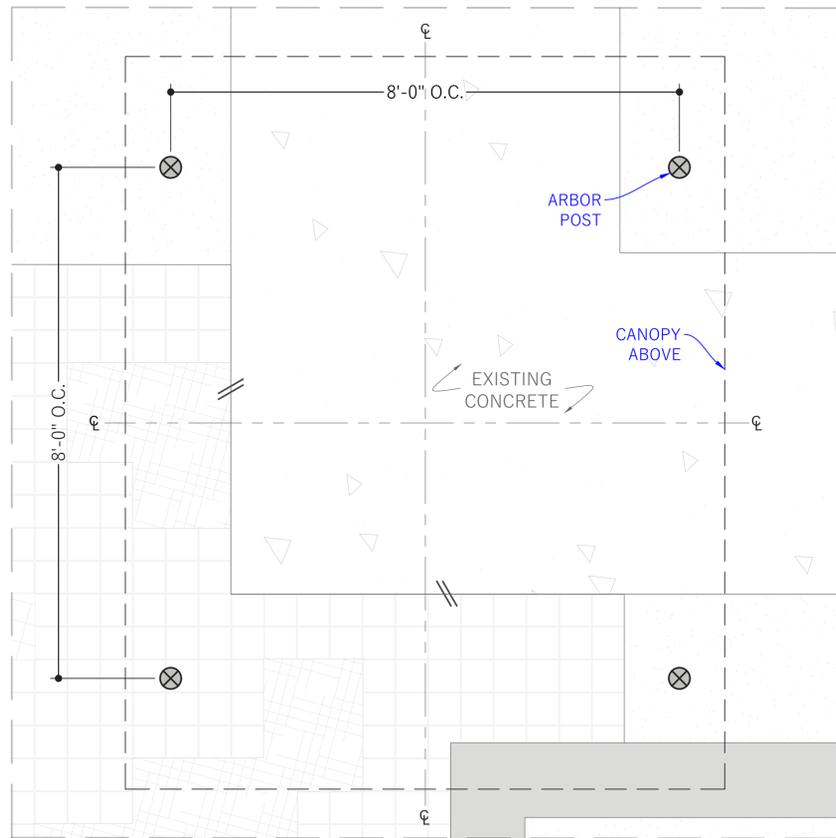
VARIANCE SET

DATE:  
11.25.2024  
DRAWN BY:  
MK

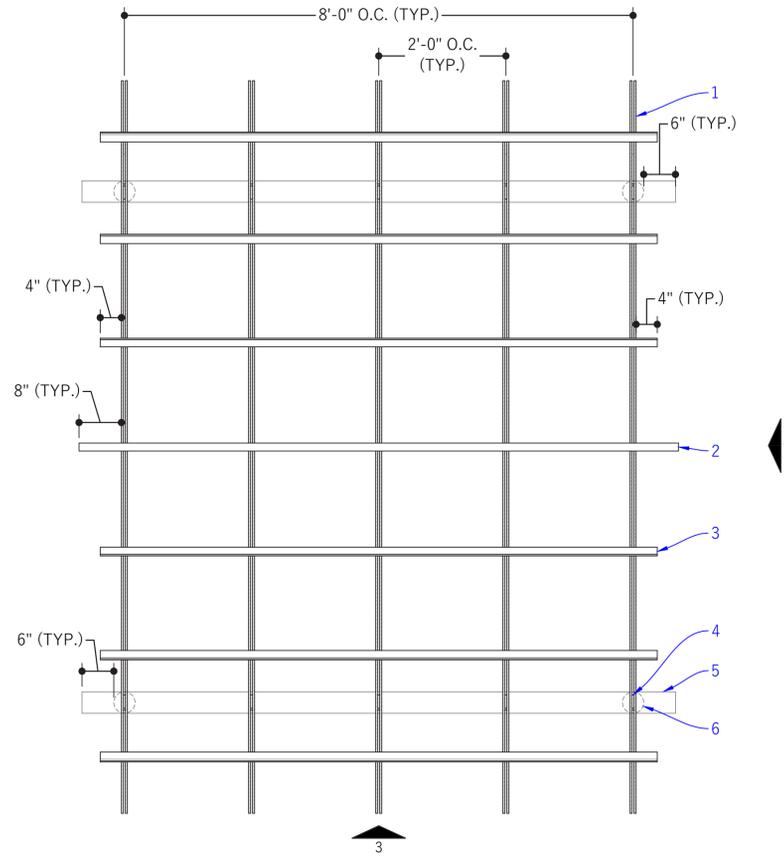
ISSUANCES:  
03.18.2024 SD  
08.16.2024 80%CD  
08.29.2024 90%CD  
10.18.2024 VARIANCE  
11.25.2024 VARIANCE

SHEET TITLE:  
DETAILS - ARBOR 1

DRAWING NO.:  
**L3.01**



**1** ARBOR 2 - ENLARGED PLAN  
SCALE: 3/4" = 1'-0"

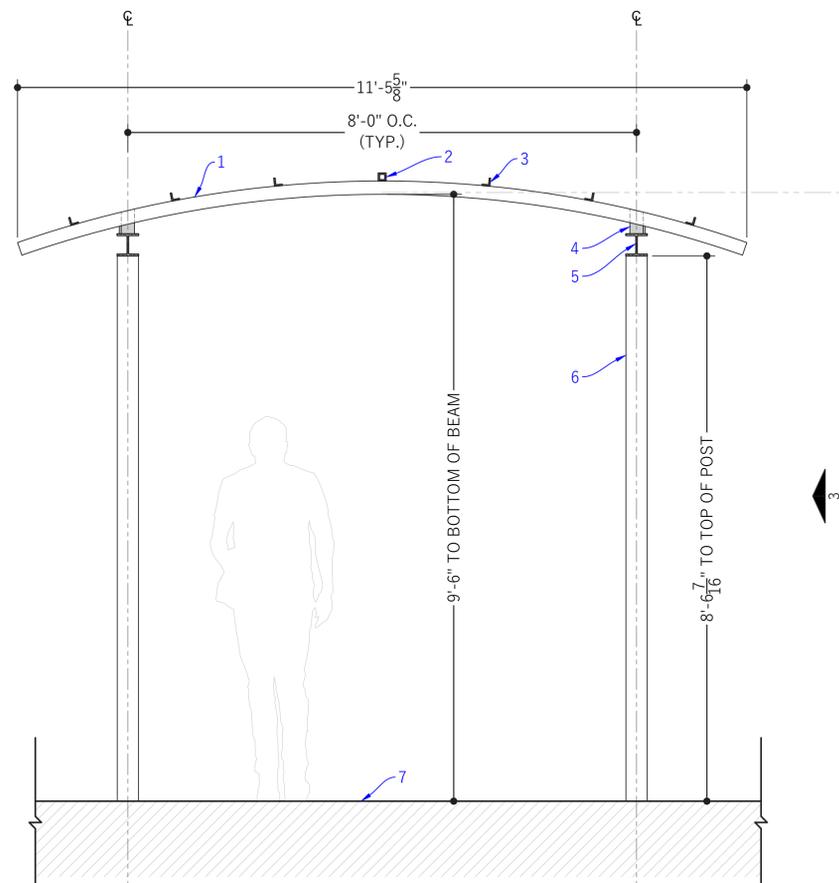


**2** ARBOR 2 - ENLARGED PLAN DETAIL  
SCALE: 3/4" = 1'-0"

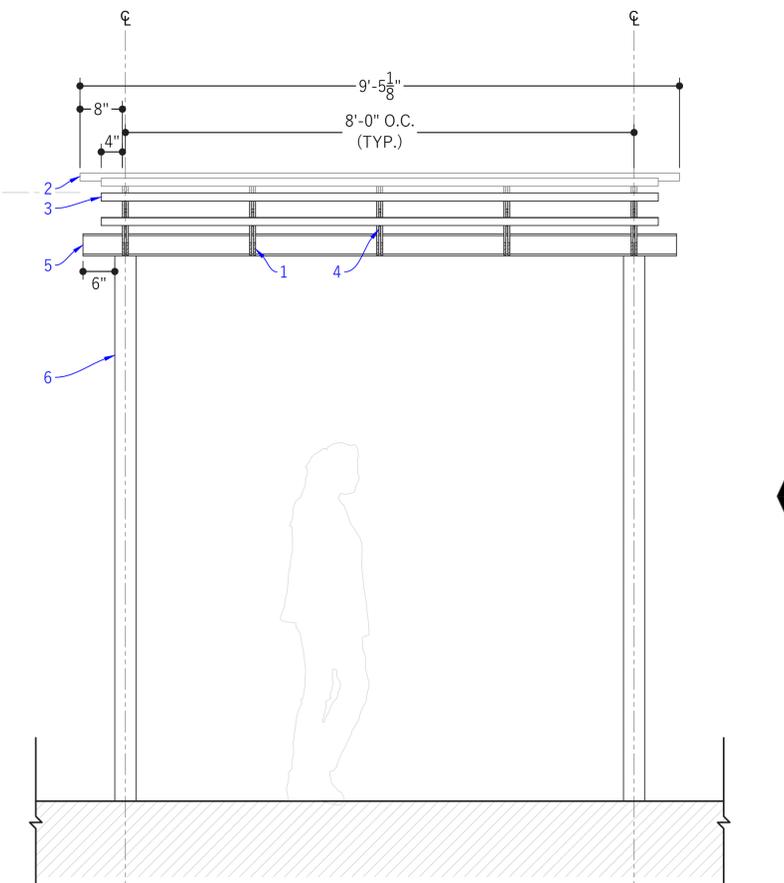
- NOTES:
1. ALL STL, UNLESS NOTED, HAVE WELD CONNECTIONS.
  2. WELDS ARE TO BE CONTINUOUS AND GROUND FLUSH.
- 
1. STEEL RIB ASSEMBLY
  2. 1 1/2" x 1 1/2" x 1/4" STL. SQ. TUBE
  3. 1 1/2" x 1 1/2" x 1/4" STL. ANGLE
  4. 3/8" THICK STEEL BLOCKING
  5. W4x13 STEEL BEAM
  6. STEEL POST (SCH 40 PIPE w/ 4" O.D.) IMBEDDED IN TYP. CONC. FOOTING

- NOTES:
1. ALL STL, UNLESS NOTED, IS CONNECTED WITH WELDS.
  2. WELDS ARE TO BE CONTINUOUS AND GROUND FLUSH.

1. STEEL RIB ASSEMBLY
2. 1 1/2" x 1 1/2" x 1/4" STL. SQ. TUBE
3. 1 1/2" x 1 1/2" x 1/4" STL. ANGLE
4. 3/8" THICK STEEL BLOCKING
5. W4x13 STEEL BEAM
6. STEEL POST (SCH 40 PIPE w/ 4" O.D.) IMBEDDED IN TYP. CONCRETE FOOTING
7. GRADE



**4** ARBOR 2 - NORTH ELEVATION  
SCALE: 3/4" = 1'-0"



**3** ARBOR 2 - EAST ELEVATION  
SCALE: 3/4" = 1'-0"

VARIANCE SET

DATE:  
11.25.2024  
DRAWN BY:  
MK

ISSUANCES:

04.23.2024	SD
08.16.2024	80%CD
08.29.2024	90%CD
10.18.2024	VARIANCE
11.25.2024	VARIANCE

SHEET TITLE:  
DETAILS - ARBOR 2

DRAWING NO.:  
**L3.02**