

## Character Area 1: Traditional Residential

Character Area 1 is located at the center of Healdsburg, roughly bound by Mason Street to the south, East and Center Streets to the west, Powell Street to the north, and Second and University Streets to the east. Primarily residential in use (with the exception of some institutional uses), this Character Area is the closest residential area to Downtown, and is also the location of Healdsburg’s oldest housing stock.

Defined primarily by detached single-family homes, with a few small-scale multi-family residential developments, maintaining character is a high priority. In addition to the traditional, sometimes historic, single-family home, this Character Area is identified by its street grid and consistency in the general size of front and side yards. Front yards in Character Area 1 are small and well-maintained, many times including a pathway from the public realm to the front porch or entrance. Fences are sometimes placed along front property lines, but are low and transparent. Garages are located at the rear of the property. When alleys are available, parking is usually accessed from the alley. Homes in this Area are oriented toward and are parallel with the street.

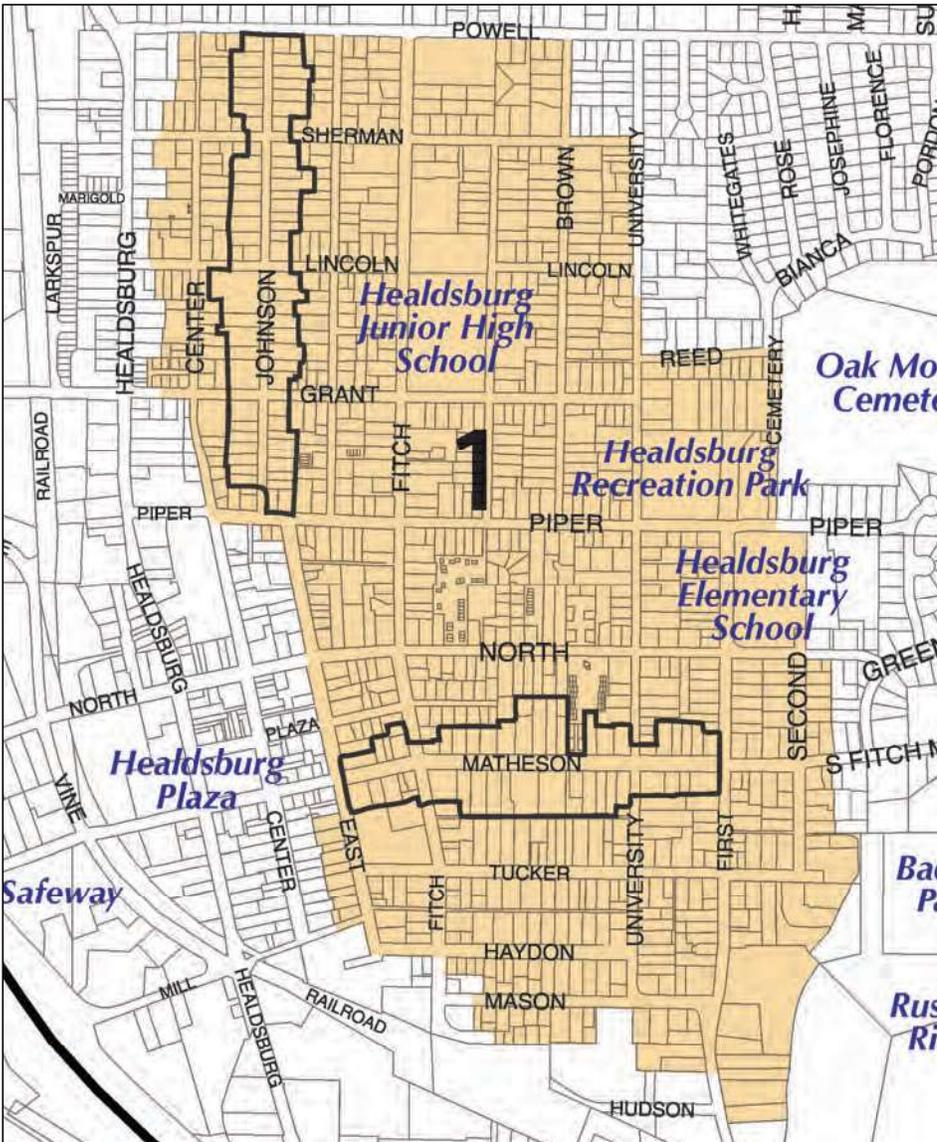
### KEY DESIGN OBJECTIVES FOR FUTURE DEVELOPMENT

- Maintain current character
- Ensure high degree of compatibility with site development patterns and defining architectural features
- Locate a garage to the rear of the property
- Continue the established rhythm of front and side yards
- Reflect existing building orientation pattern of structures that are oriented to and parallel with the street
- Encourage construction that is designed to be compatible with the predominant pattern of one and two-story homes
- Incorporate a first-story element such as a projecting or recessed porch
- Articulate the front wall of a building with window proportions, spacing and transparency levels similar to those of traditional buildings.

Buildings in this Character Area are typically one or two stories. The entry faces the public realm or opens onto a porch that faces the public realm. Entries are also defined by a projecting or recessed porch. The front wall of the home is highly articulated and contains large windows. Roof forms in Character Area 1 are pitched.



*Most buildings in Character Area 1 are one- or two-stories, as shown above. New buildings in Character Area 1 should be constructed to be of one- or two-stories to follow the established pattern.*



Character Area 1 includes two designated historic districts.



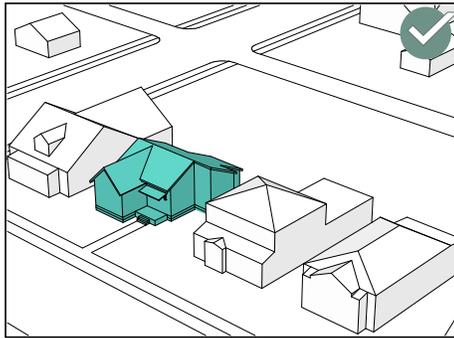
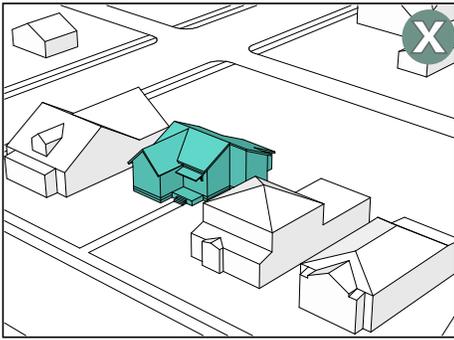
Homes in Character Area 1 often include a first story element that faces the street, such as the porch shown above. New homes should incorporate a first-story element, where possible.



Existing buildings in Character Area 1 display a high degree of articulation along the street, as shown above. New buildings should continue to be designed to include a high degree of articulation that is similar to the articulation and transparency of existing traditional buildings.



Many parts of Character Area 1 display a consistent placement of the primary structure, creating a rhythm along the street, as shown above; new buildings should consider context to maintain the existing rhythm.



**Figure 4.1:** Locate a building within the range of established front and side yard setbacks on a block. The top photo illustrates an inappropriate front yard setback because it does not follow the established front and side setbacks; the bottom photo illustrates an appropriate placement of a new building that responds to the existing consistent front and side yard setbacks.

## Key Site Design Elements in Character Area 1: Traditional Residential

### Building Placement

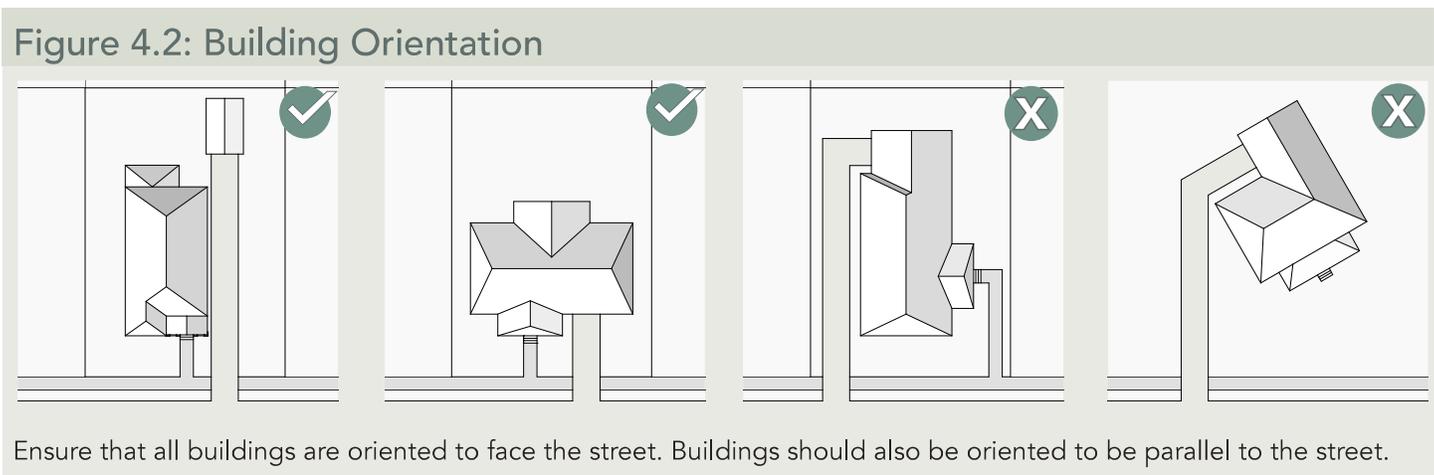
Place a building within the established range of front setbacks on a block, within the provisions of the zoning standards. While a range of setbacks exists, a building should not be set back a large distance from the public right-of-way. Front walls need not be consistently placed, but consistent spacing within the range on the block is an acceptable approach. Refer to design guideline 5.1 and Figures 4.1 and 5.1.

### Side Setbacks

Provide side setbacks in the range of those seen on a block, within the provisions of the zoning standards. Side setbacks typically range from 2' to 12' in Character Area 1. In most cases a larger setback is provided on one side of a building to allow for vehicular access from the street and the side setback on the opposite side is relatively small. This pattern should be generally maintained. If vehicular access from the street is not possible, providing small setbacks on both sides of a building is appropriate. Where an alley is present and vehicular access is provided from the alley, the side setbacks should reflect the pattern of neighboring buildings. Refer to design guideline 5.1 and Figure 5.1.

### Orientation

Ensure that all buildings are oriented to face the street. Buildings should also be oriented to be parallel to the street. Refer to design guidelines 5.6-5.9 and Figures 4.2, 5.1 and 5.4.



## Garage Placement

Place the garage behind the rear wall of the primary structure wherever feasible. If placing the garage entirely behind the primary structure is not feasible, set the garage back from the front wall of the structure so that it remains subordinate to the primary structure. A garage should never be flush with or project from the front wall of the primary structure. Refer to design guidelines 5.10 and 5.11, and Figures 4.3 and 5.7.

## Front Yard Fences

Fences may be considered in the front yard of a property in Character Area 1, if desired. However, the fence should be compatible with those in the Character Area. Most front yard fences in this Character Area are constructed of wood; while wood or a material that appears similar to wood are encouraged to be used, other materials are also acceptable. Front yard fences in this Character Area should be low in scale and allow visual permeability. Very low-scaled retaining walls at the back of the sidewalk edge are acceptable, if desired. These low-scaled retaining walls may also have a fence built on top of them, provided that the fence meets the relevant design guidelines. Refer to design guidelines 5.17-5.19.

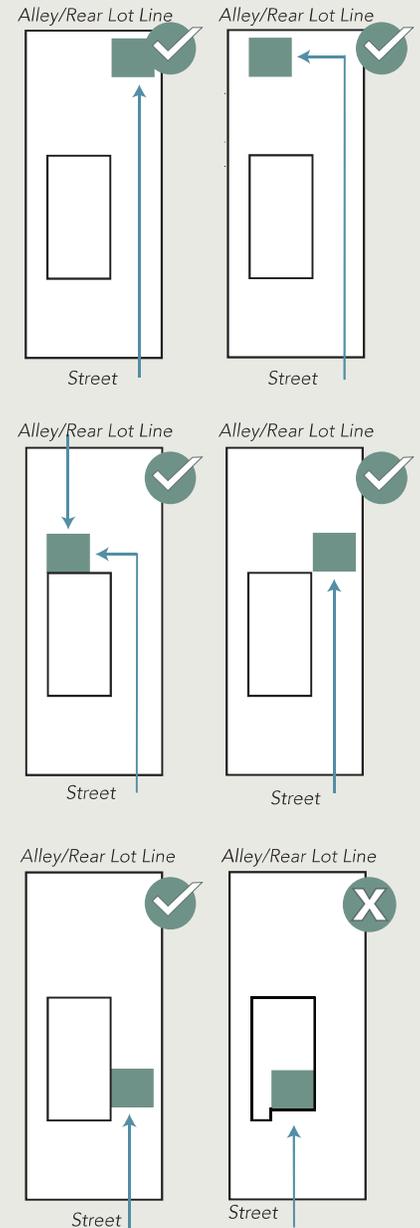
## Entry Connection

Provide a directly connected pedestrian pathway from a building entry to the sidewalk through the front yard. Where a small scale multi-family development is considered, each unit should be connected to an internal walkway system that ultimately connects to the public realm. Refer to design guidelines 5.4 and 5.5 and Figure 5.3.



*Orient a building to face the street and provide a directly connected pedestrian pathway from a building entry to the sidewalk.*

**Figure 4.3: Garage Placement Options**



The garage should be located behind the rear wall of the primary structure, where feasible. The bottom left diagram illustrates a location that is appropriate only when a rear location is not feasible.



Design a front facade to maximize transparency with a low solid-to-void ratio in keeping with the degree of fenestration typical in Character Area 1.



Provide a front porch at a one-story scale on the front wall of a building.



Design a roof to be moderately pitched in keeping with the roof forms seen in Character Area 1.



Design a building to be in harmony with the predominant character of one- and two-story homes.

## Key Building Design Elements in Character Area 1: Traditional Residential

### Front Façade Composition

Design a front façade to maximize transparency with a low solid-to-void ratio in keeping with the degree of fenestration typical of traditional buildings in Character Area 1. Highly articulate a façade and provide a high degree of architectural detail to provide visual interest from the public realm. Refer to design guidelines 5.30 and 5.31.

### Front Porches

Provide a front porch at a one-story scale on the front wall of a building. Projected or recessed front porches are appropriate. A stoop may be considered if a porch is not feasible. Refer to design guidelines 5.39-5.42.

### Roof Form

Design a roof to be moderately pitched in keeping with the roof forms seen in Character Area 1. Gabled or hipped roof forms are appropriate. Refer to design guidelines 5.43 and 5.44, and Figure 5.12.

### Materials

Use a primary material for a building that is compatible with the wood siding and authentic stucco typically found in Character Area 1. If a substitute material is desired, choose a material that is similar in finish, texture and depth of detail as authentic stucco or wood siding. Refer to design guidelines 5.45 - 5.47, and Figure 5.13.

### Scale

Design a building to be in harmony with the predominant character of one- and two-story homes. Refer to design guideline 5.48 and 5.49, and Figure 5.14.

### Massing

Consider locating the majority of a building's mass to the center and rear of the structure as opposed to the front of the building. Refer to design guideline 5.49 and Figures 4.4 and 5.14.



**Figure 4.4:** This new building (shown in turquoise) is inappropriate because the form of the roof on the building contrasts too strongly with the surrounding context.

## Historic Resources

Character Area 1 is home to Healdsburg's two designated historic districts – the Johnson Street Historic District, which includes both sides of Johnson Street between Piper Street and Powell Avenue, and the Matheson Street Historic District, which includes both sides of Matheson Street between East Street and First Street. The homes in these historic districts are similar in appearance to many of the characteristics of traditional single-family homes as described above, but have been identified as historic and therefore are protected by their designation. Demolition of and alterations to existing buildings, and new development proposals in these historic districts requires approval by the Historic Committee. For guidelines related to the treatment of a historic resource, see Chapter 8: Treatment of Historic Resources.

